

FLOOR PLAN NOTES: (2018 IRC)

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
3. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
5. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
7. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
8. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENS SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R012.1.1 & R012.1.2
9. MTS05.1.2 APPLIANCE IN ATTIC. ATTIC CONTAINS APPLIANCE SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 30 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTERS NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES HIGH SHALL BE PROVIDED ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS: (A) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. (B) WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
10. APPLIANCE ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT. APPLIANCE SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. MTS05.1.1
11. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLIANT WITH ASTM F 2092 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018, R010.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES.
12. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
13. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING. FOOTAGES SHOWN ARE TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE, ETC.
14. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
15. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2



AREAS:	S.F. HEATED
2431	S.F. HEATED
344	S.F. UNHEATED - BONUS ROOM
273	S.F. UNHEATED - FRONT PORCH
225	S.F. UNHEATED - REAR PORCH
644	S.F. UNHEATED - GARAGE
46	S.F. UNHEATED - STORAGE
1531	S.F. UNHEATED - TOTAL
3965	S.F. TOTAL UNDER ROOF
***MASONRY NOT INCLUDED**	

FRAMING SQUARE FOOTAGE CALCULATION NOTES:
 1. SQUARE FOOTAGE OF HEATED AREA IS MEASURED TO THE OUTSIDE OF THE STUD WALL OF THE EXTERIOR WALLS (DOES NOT INCLUDE MASONRY OR OTHER EXTERIOR MATERIALS).
 2. FIREPLACES THAT PROJECT FROM THE EXTERIOR FOOTPRINT ARE NOT INCLUDED IN THE HEATED AREA.
 3. BATHROOMS ARE ONLY INCLUDED IN THE FIRST FLOOR CALCULATIONS AND NOT THE SECOND FLOOR CALCULATIONS (IF APPLICABLE).

- DOOR LABEL SIZE: N01 IS A DOOR THAT IS 3 FT 6 INCHES HIGH BY 4 FEET 0 INCHES TALL. TO 4 FT 0 INCHES CLAMPY. THE N01 LABEL IS TO BE READ AS FEET AND INCHES (4 FT 0 INCHES) AND FEET AND INCHES (4 FT 0 INCHES). THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR FRAME, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER OR OTHER AT SITE.
- WINDOW LABEL SIZE: N01 IS A WINDOW THAT IS 3 FT 6 INCHES HIGH BY 4 FEET 0 INCHES TALL. TO 4 FT 0 INCHES CLAMPY. THE N01 LABEL IS TO BE READ AS FEET AND INCHES (4 FT 0 INCHES) AND FEET AND INCHES (4 FT 0 INCHES). THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW FRAME, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER OR OTHER AT SITE.

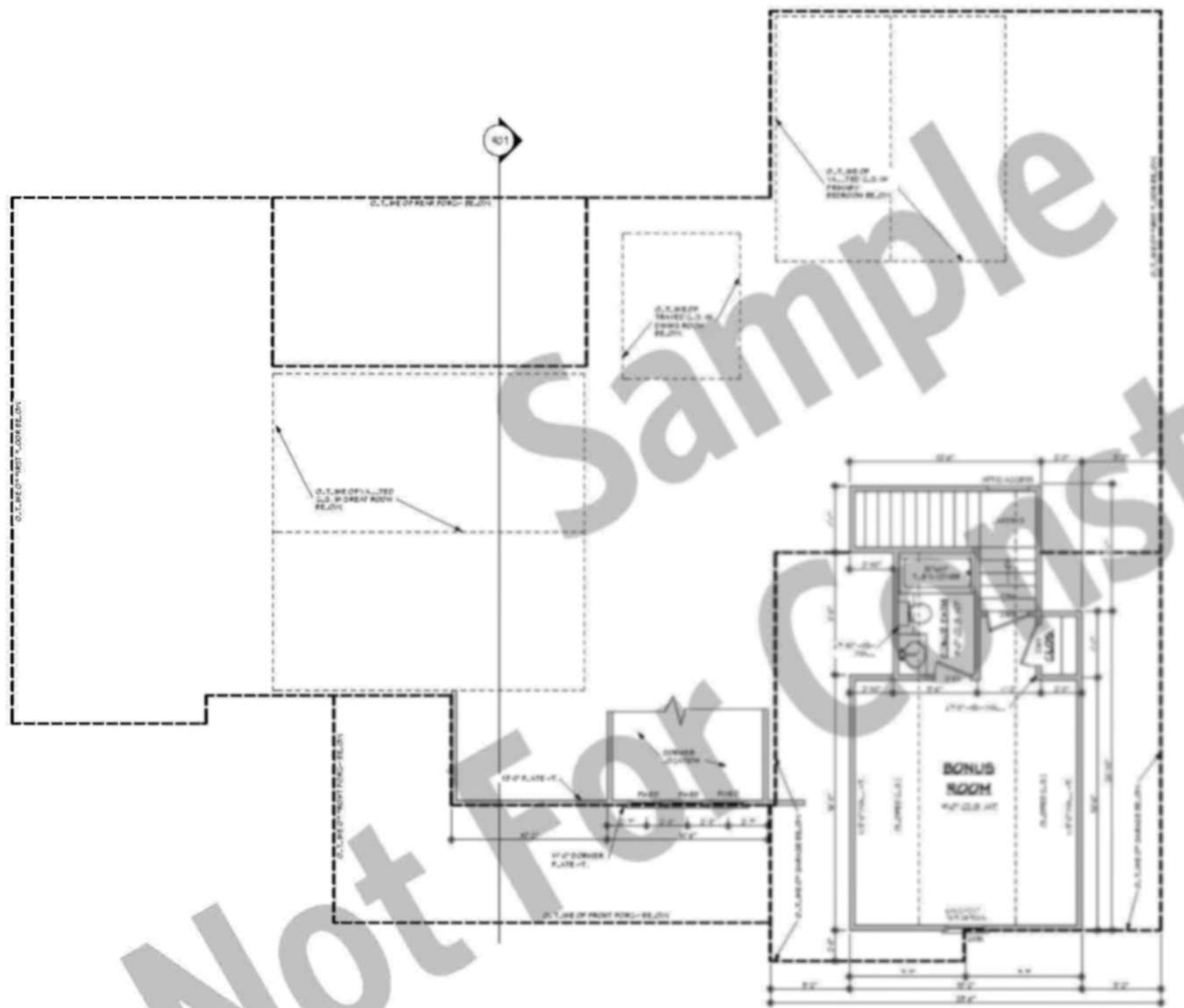
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

MECHANICAL NOTE:
 WATER HEATER & HVAC UNIT TO BE LOCATED IN ATTIC SPACE BY CONTRACTOR.

WALL FRAMING NOTE:
 ALL WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.

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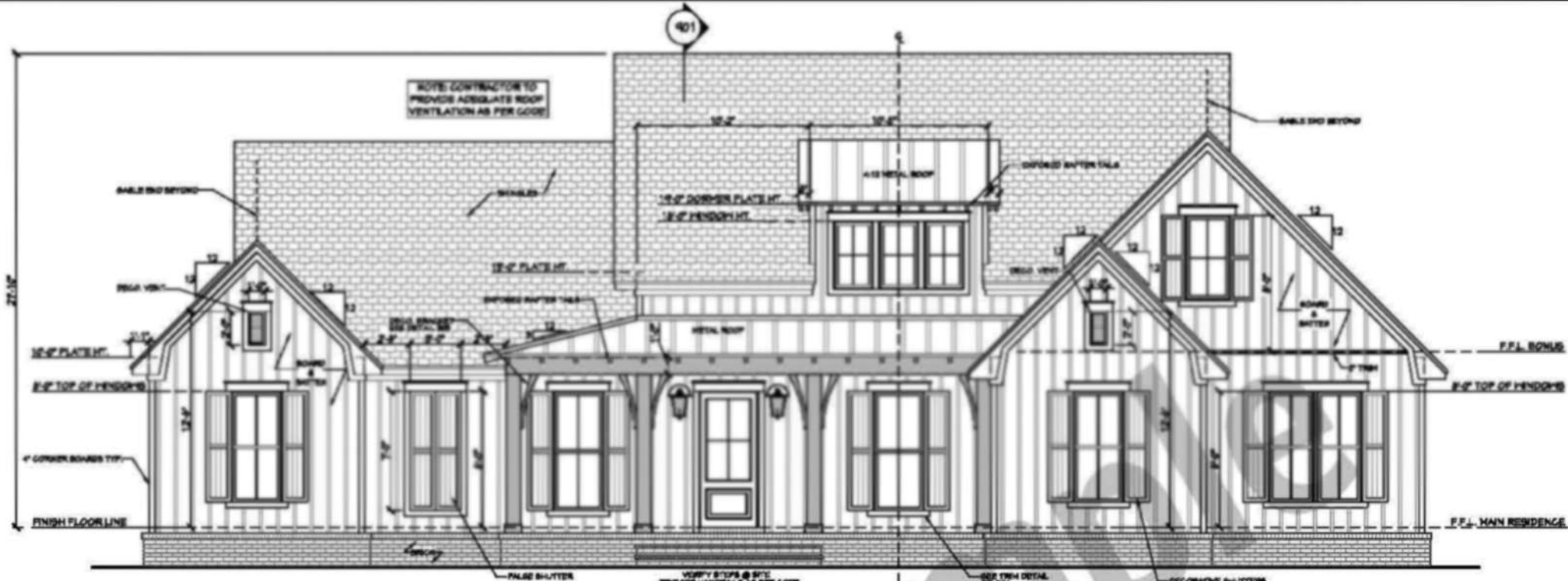
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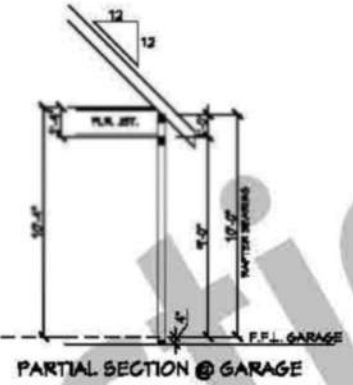
BONUS FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES: (2018 IRC)**
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 2. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
 3. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 4. VERIFY ALL DOOR AND WINDOW SIZES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
 5. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 7. ALL DECKING TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.
 8. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE SURGE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 36 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE SURGE NOT LESS THAN 36 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE TOPS OF THE TREADS. SLICED STAIRWAYS SHALL NOT BE CONSIDERED AS A SURGE. (NC 2018, 2015, 2012)
 9. HOLES TO APPLIANCE IN KITCHEN, ATTIC OR GARAGE APPLIANCE SHALL BE PROVIDED WITH AN OPENING AND A CLEARANCE UNRESTRICTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES WIDE AND 22 INCHES HIGH AND NOT MORE THAN 22 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ALL DIRECTIONS WITHIN 2 FEET OF THE APPLIANCE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED ALONG EACH SIDE OF THE APPLIANCE WHEN ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS: (a) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING; (b) WHERE THE PASSAGEWAY IS UNRESTRICTED AND IS LESS THAN 4 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE AT LEAST 30 FEET LONG.
 10. APPLIANCE ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT. APPLIANCE SHALL BE ACCESSIBLE FOR ADDITIONAL SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCE, OR ANY OTHER FIXTURES OR DEVICES NOT CONNECTED TO THE APPLIANCE. (a) SPECIES, SERVICED, REPAIRED OR REPLACED. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. (b) WIDTH 1.1
 11. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOWS OPENING OUTWARDS AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018, 2015, 2012. EXCEPTION: SINGLE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. MINIMUM RILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
 12. ALL RETURN AIR SHALL BE TO BE LOCATED TO COMPLY WITH SECTION 903.2 OF THE IRC 2018.
 13. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED MEASUREMENTS OR BUILDING FOOTAGE RECORDS TO THE OUTSIDE OF THE STUD/SHALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE, ETC.
 14. FIRE SMOKE ALARM SYSTEM TO BE DESIGNED AND INSTALLED AS REQUIRED BY LOCAL CODES AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
 15. ALL EXTERIOR EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. (NC 2018, 2015, 2012)

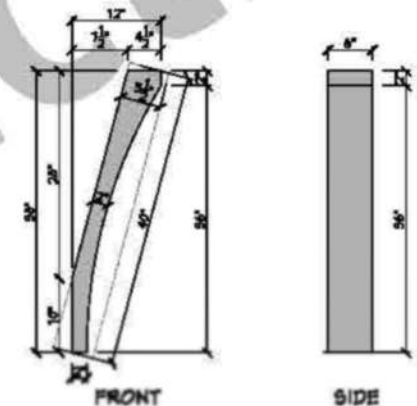




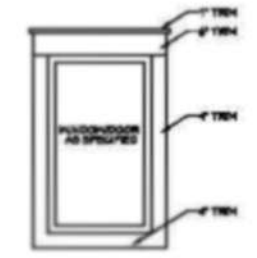
501 FRONT VIEW
SCALE 1/4" = 1'-0"



PARTIAL SECTION @ GARAGE



503 WD. BRACKET DTL.
SCALE N.T.S.



504 TYPICAL TRIM DETAIL
SCALE 1/2" = 1'-0"



502 REAR VIEW
SCALE 1/4" = 1'-0"

- EXTERIOR ELEVATION NOTES:**
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



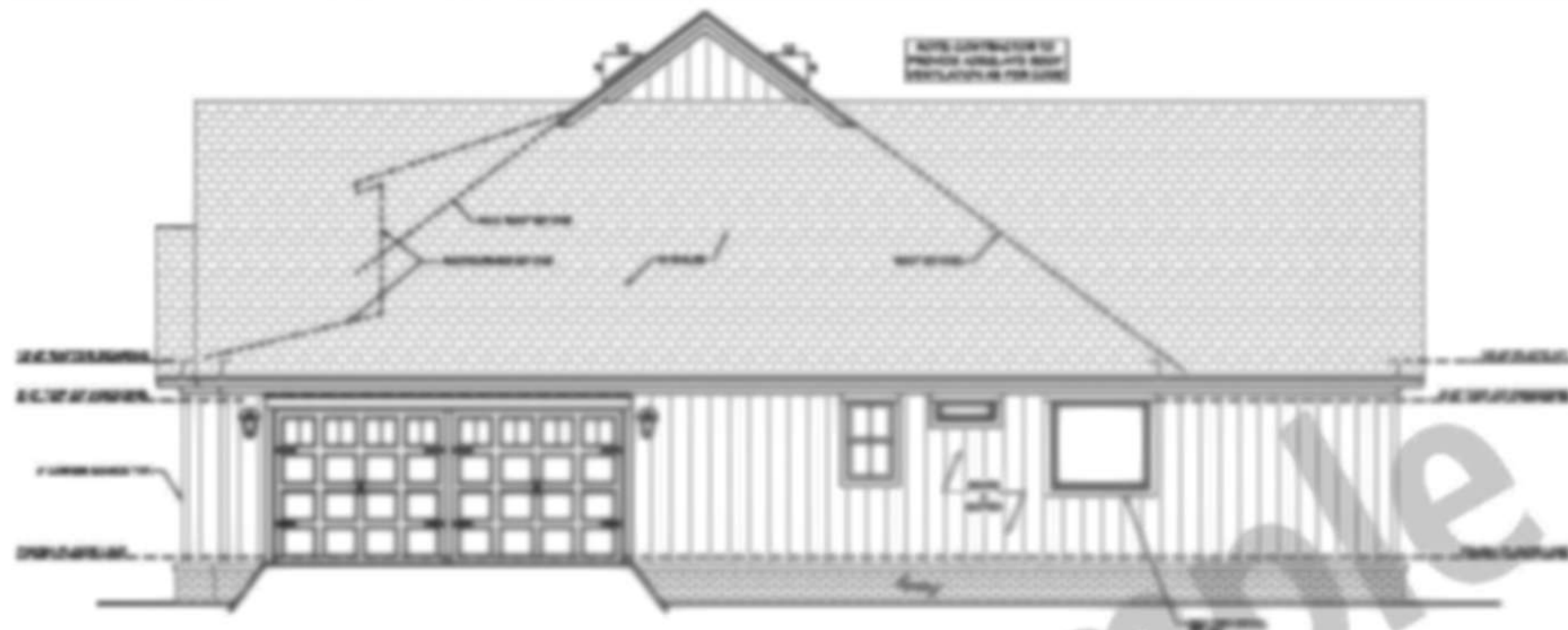
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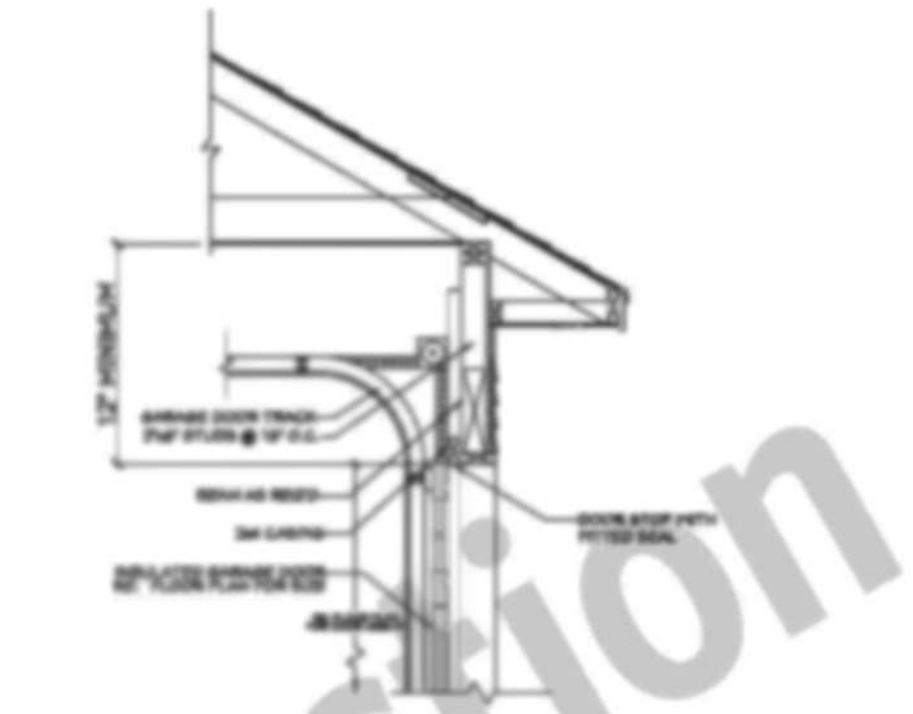
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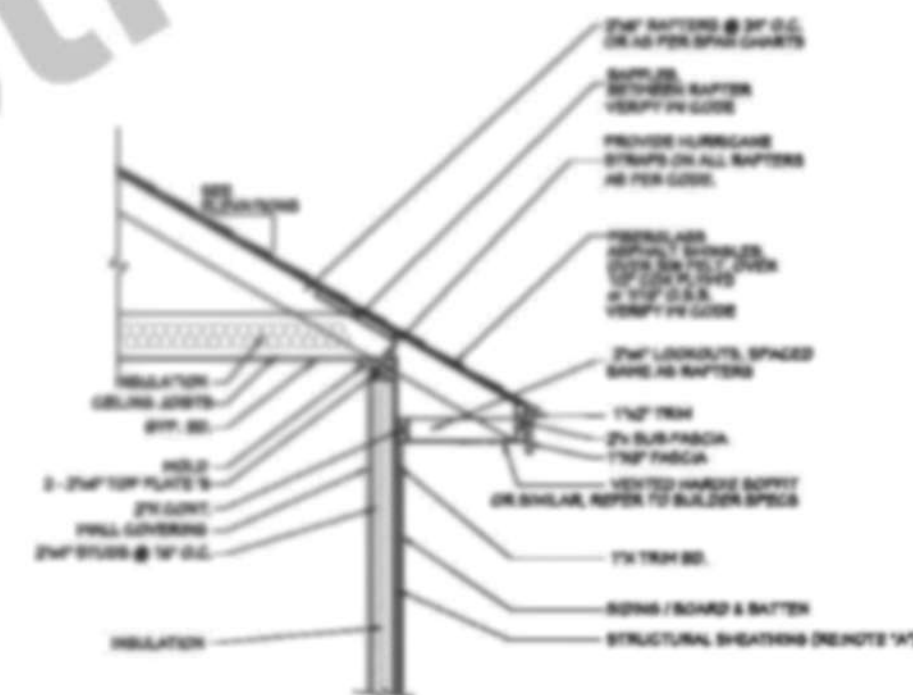
601 RIGHT VIEW
SCALE 1/4" = 1'-0"



603 GARAGE DOOR CLEARANCE
SCALE N.T.S.



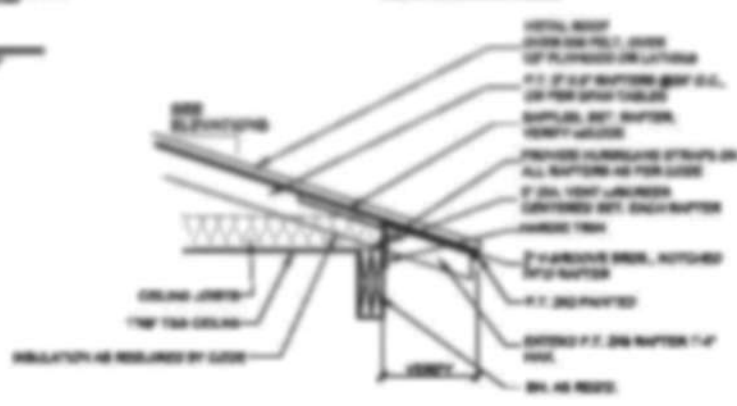
602 LEFT VIEW
SCALE 1/4" = 1'-0"



604 TYP. CORNICE DETAIL
SCALE 3/4" = 1'-0"



605 COLUMN/BEAM LOCATIONS
SCALE N.T.S.



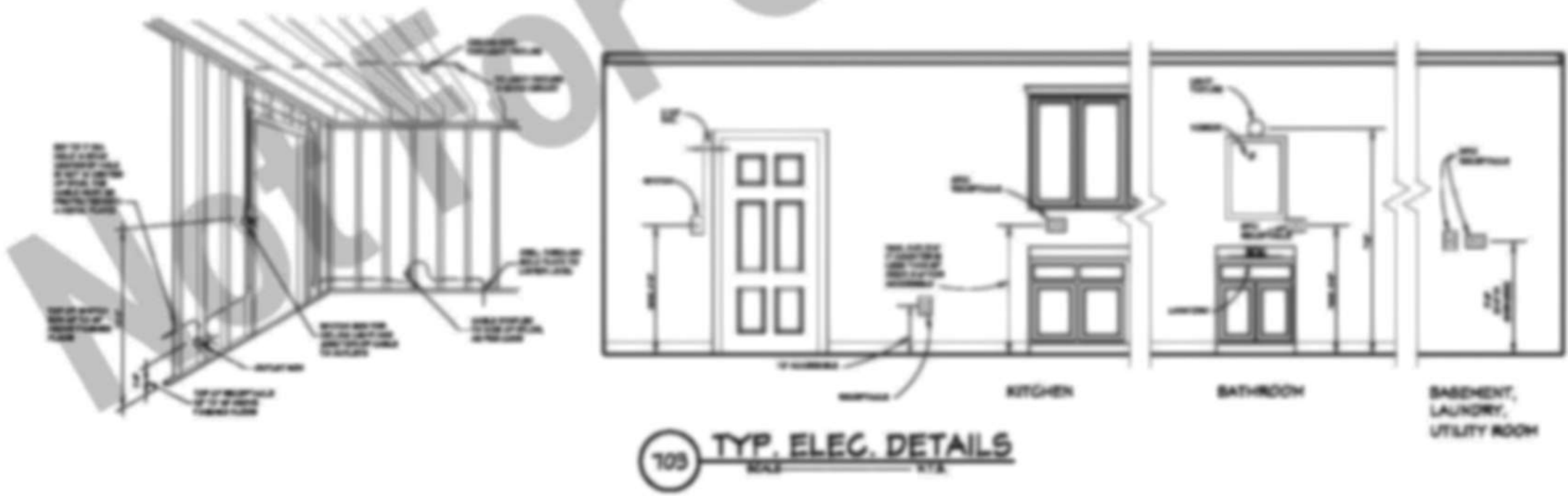
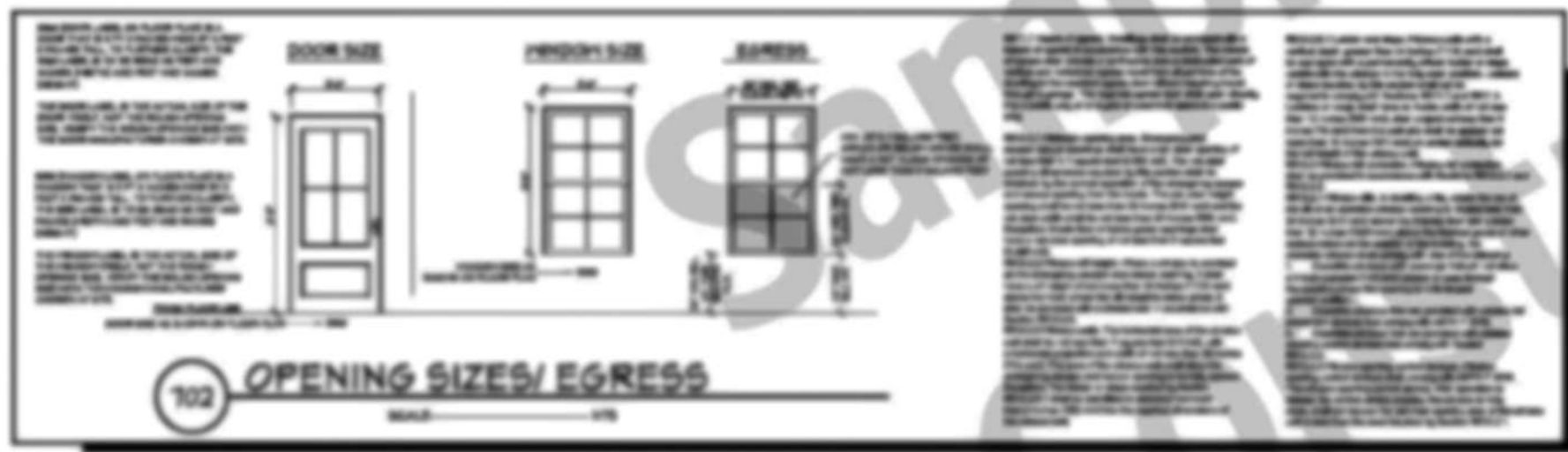
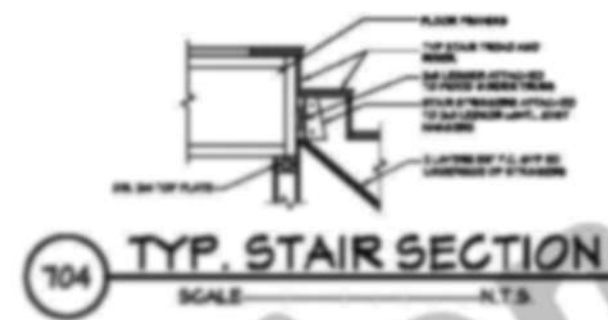
606 EXPOSED RAFTER DETAIL
SCALE 3/4" = 1'-0"



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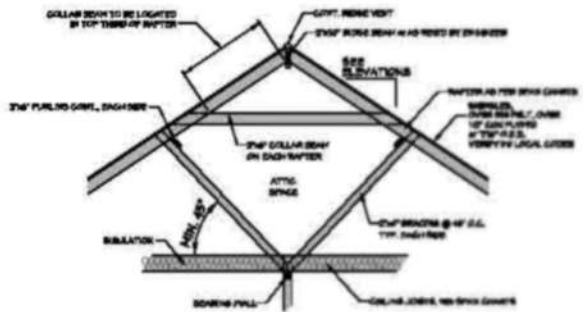
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802 TYP. ROOF BRACING
SCALE _____ N.T.S.

- ROOF PLAN NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS CONTRACTOR TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
 3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
 4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
 5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.

MAXIMUM HEADER SPANS

HEADER SPANS FOR EXTERIOR BEARING WALLS
SOUTHERN PINE OR BETTER LIVE LOAD=50psf DEAD LOAD=10psf
ALL SPANS ARE ASSUMING A MINIMUM OF 24 FEET OF SUPPORTED ROOF FINISH

SUPPORTING ROOF AND CEILING ONLY		
SIZE NUMBER OF PLIES N(1)	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2x6	4-7	1
(2) 2x8	6-4	1
(2) 2x10	8-10	2
(2) 2x12	8-1	2
(3) 2x6	1-0	1
(3) 2x10	8-1	2
(3) 2x12	10-1	2

SUPPORTING ROOF, CEILING AND ONE CENTER BEARING FLOOR		
SIZE NUMBER OF PLIES N(1)	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2x10	6-6	2
(2) 2x12	8-8	2
(3) 2x10	1-2	2
(3) 2x12	8-8	2

NOTES:

1. THE ABOVE INFORMATION IS FROM THE IRC 2015 TABLE R602.4.1(1)
2. PLEASE REFER TO THE IRC 2015 FOR ADDITIONAL LUMBER SPECIES AND HEADER OPTIONS.
3. ALL HEADER SIZES SHALL BE CHECKED/VERIFIED BY A LOCAL PROFESSIONAL.

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
UNINHABITABLE ATTIC WITH LIMITED STORAGE
LIVE LOAD=20psf (40psf DEAD LOAD=10psf)
MIN. HABITABLE ATTIC SPACE IS DESIRED
REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLE

SIZE	SPACING (INCHES)	SPAN (FEET)	
		UNGRADED SOUTHERN PINE	VISUALLY GRADED #2 SOUTHERN PINE
2x4	12.0	6.0	6.0
	14.0	8.0	8.0
	16.0	10.0	10.0
	18.0	12.0	12.0
2x6	12.0	10.0	10.0
	14.0	12.0	12.0
	16.0	14.0	14.0
	18.0	16.0	16.0
2x8	12.0	14.0	14.0
	14.0	18.0	18.0
	16.0	22.0	22.0
	18.0	26.0	26.0
2x10	12.0	18.0	18.0
	14.0	24.0	24.0
	16.0	30.0	30.0
	18.0	36.0	36.0

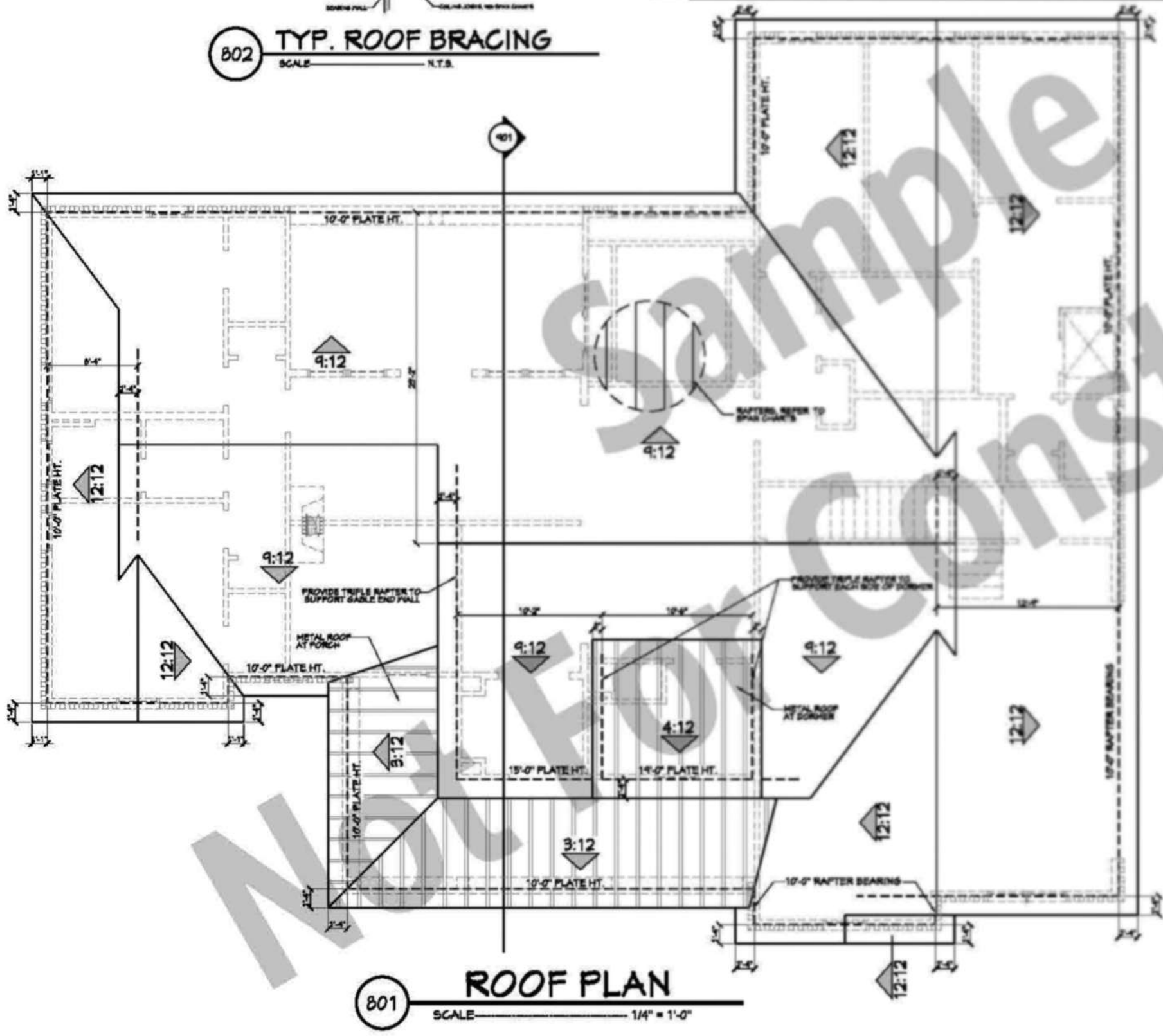
NOTES:
The above tables are based on the IRC 2015 TABLE R602.3.1(2)

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=50psf, LEAFY DEAD LOAD=10psf

SIZE	SPACING (INCHES)	SPAN (MAXIMUM RAFTER SPANS BETWEEN BRACING) (PL. - PL.)	
		UNGRADED SOUTHERN PINE	VISUALLY GRADED #2 SOUTHERN PINE
2x6	12.0	12-11	12-11
	14.0	16-0	16-0
	16.0	20-0	20-0
	18.0	24-0	24-0
2x8	12.0	16-4	16-4
	14.0	21-0	21-0
	16.0	26-0	26-0
	18.0	31-0	31-0
2x10	12.0	21-0	21-0
	14.0	27-0	27-0
	16.0	33-0	33-0
	18.0	39-0	39-0
2x12	12.0	27-0	27-0
	14.0	34-0	34-0
	16.0	41-0	41-0
	18.0	48-0	48-0

NOTES:
The above tables are based on the IRC 2015 TABLE R602.4.1(3)



801 ROOF PLAN
SCALE _____ 1/4" = 1'-0"

RAFTER LENGTH CHART

RAFTER SIZE	PITCH	LENGTH
4x4	12:12	1.00
4x4	10:12	1.10
4x4	9:12	1.20
4x4	8:12	1.30
4x4	7:12	1.40
4x4	6:12	1.50
4x4	5:12	1.60
4x4	4:12	1.70
4x4	3:12	1.80
4x4	2:12	1.90
4x4	1:12	2.00

NOTES:
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR SHOWN TO DETERMINE TOTAL Rafter LENGTH

HIP/VALLEY CONVERSION

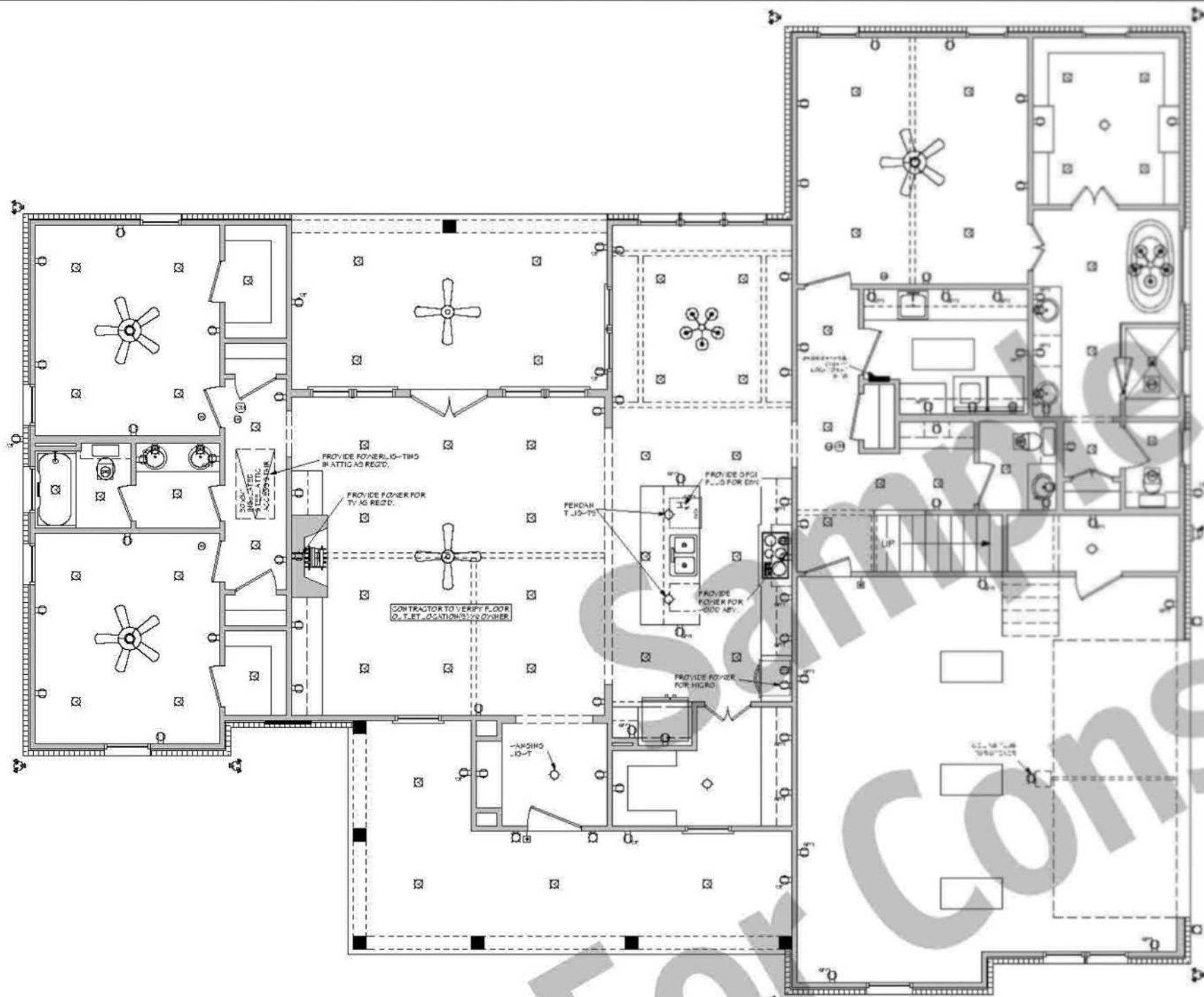
RAFTER SIZE	SLOPE	VALLEY Rafter SIZE	SLOPE
4x4	12:12	4x4	12:12
4x4	10:12	4x4	10:12
4x4	9:12	4x4	9:12
4x4	8:12	4x4	8:12
4x4	7:12	4x4	7:12
4x4	6:12	4x4	6:12
4x4	5:12	4x4	5:12
4x4	4:12	4x4	4:12
4x4	3:12	4x4	3:12
4x4	2:12	4x4	2:12
4x4	1:12	4x4	1:12

NOTES:
CONVERSION CHART FOR SIMPLE ROOFS ONLY
CHART DOES NOT APPLY FOR DUAL PITCH ROOFS



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ELECTRICAL PLAN

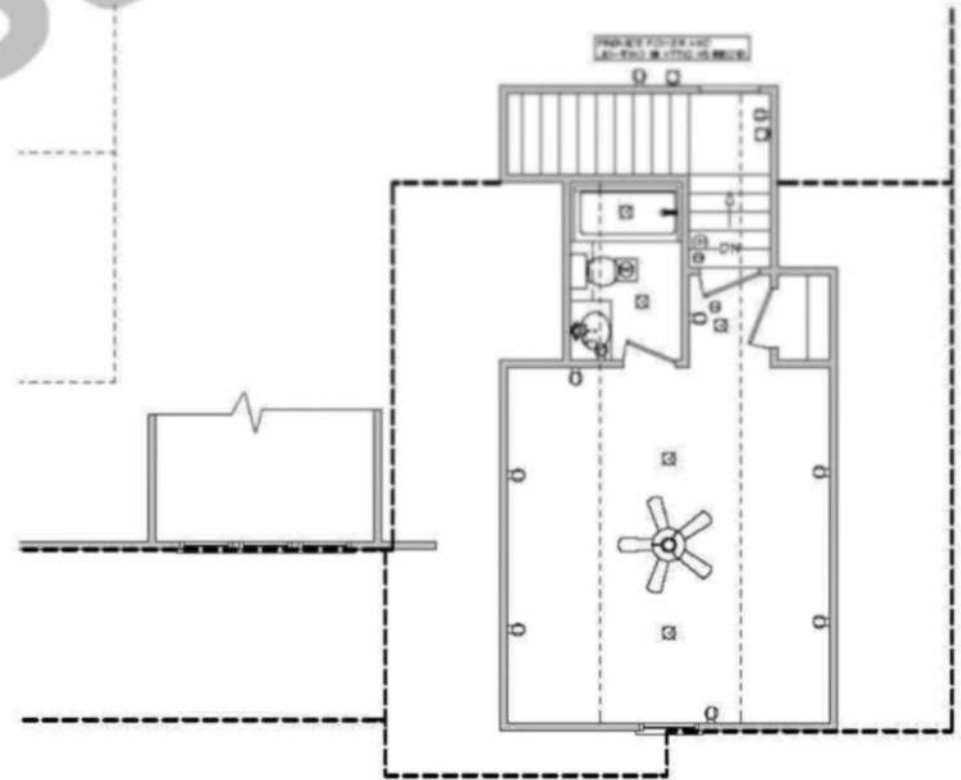
SCALE: 1/4" = 1'-0"

NOTE: SWITCHES AND ELECTRICAL CONNECTIONS ARE NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR AT SITE.

ELECTRICAL SYMBOLS LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	120 VOLT OUTLET	⊙	TV SPEAKER
⊕	SHOULDER PAULT PROTECTED OUTLET	⊙	RADIO SPEAKER
⊕	WEATHERPROOF OUTLET	⊕	CELLS PAL ONLY NO LIGHT KIT
⊕	220 VOLT RECEPTACLE	⊕	CELLS PAL WITH LIGHT KIT
⊕	FLOOR OUTLET (OWNER TO LOCATE)	⊕	TRACK LIGHTS (OWNER TO LOCATE)
⊕	CELLS HEAD FIXTURE	⊕	WALL BOON (OWNER TO LOCATE)
⊕	OVERHEAD HUNG FLOODELIGHT	⊕	SHOWER (20 T 2)
⊕	WALL MOUNTED FLOODELIGHT	⊕	SHOWER (20 T 2)
⊕	RECESSED CELLS FIXTURE	⊕	WALK COUNTER LIGHTS
⊕	FLUORESCENT LIGHT	⊕	EMERGENCY LIGHTS EXIT SIGN
⊕	CARBON MONOXIDE DETECTOR		
⊕	SMOKE DETECTOR		
⊕	SWITCH		
⊕	THREE-WAY SWITCH		
⊕	WALL MOUNTED LIGHT		
⊕	SWITCH (OWNER TO LOCATE)		
⊕	DOOR ACTIVATED SWITCH		
⊕	WEATHERPROOF OUTLET		
⊕	GATE NETWORKS - ADA (OWNER TO LOCATE)		
⊕	TELEPHONE OUTLET (OWNER TO LOCATE)		
⊕	TELEVISION OUTLET (OWNER TO LOCATE)		
⊕	DOORBELL BUZZER (CONTRACTOR TO LOCATE)		
⊕	TERMINATOR (CONTRACTOR TO LOCATE)		
⊕	CELLS EXHAUST FAN, VEST TO ENTRY		

ELECTRICAL NOTES (SEE INC)

- ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE TO SITE.
- SMOKE ALARMS SHALL BE INSTALLED IN THE RESIDUAL OCCUPANCY SLEEPING AREAS OF EACH SEPARATE SLEEPING AREA. THE IMMEDIATE VICINITY OF THE ENTRANCE TO EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND WALK-UP ATTIC. WHERE THERE IS MORE THAN ONE ALARM REQUIRED TO BE INSTALLED, THE ALARMS SHALL BE INTERCONNECTED IN SUCH MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE AREA. ALARMS SHALL BE MAINTAINED WITH BATTERY SUPPLY.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE ENTRANCE TO EACH ADDITIONAL STORY OF THE DWELLING. ALARMS SHALL BE MAINTAINED WITH BATTERY SUPPLY.
- A 20 AMP, 2-POLY, 250 VOLT WIRE-BOND RECEPTACLE (OUTLET) SHALL BE INSTALLED IN ALL OCCUPANCY AREAS FOR THE SERVICES OF REFRIGERATORS AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 20 FEET OF THE REFRIGERATOR RECEPTACLE (OUTLET) SHALL NOT BE CONNECTED TO THE OTHER SIDE OF THE PANEL OR OTHER RECEPTACLES.



BONUS ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



Date: 04.22.20

Drawn: [Signature]

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IMPORTANT DISCLAIMER

THE ENCLOSED INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGH THE CONSTRUCTION OF YOUR HOME. YOUR CONSTRUCTION PLANS MUST BE IN ACCORDANCE WITH INDUSTRY STANDARDS, THESE PROFESSIONAL STANDARDS DETERMINE HOW CONSTRUCTION PLANS ARE DRAWN AND WHAT INFORMATION THEY INCLUDE. CONSTRUCTION PLANS ARE INTENDED AS A TECHNICAL GUIDE TO PROFESSIONALS, CONTRACTORS AND ARE NOT INTENDED TO BE A SET OF STEP-BY-STEP INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD YOUR HOME WITHOUT THE SERVICE OF A PROFESSIONAL, YOU WILL BE RESPONSIBLE FOR YOUR OWN THOROUGHLY FAMILIAR WITH READING CONSTRUCTION PLANS OR CONSULTING WITH A CONSTRUCTION SPECIALIST. IF YOU SHOULD HAVE ANY QUESTIONS REGARDING THE CONSTRUCTION PLANS AND/OR THE SUPPORTIVE DOCUMENTATION, PLEASE FEEL FREE TO CONTACT US AT [REDACTED] OR VISIT OUR WEBSITE AT [REDACTED]. WE URGE YOU TO CONTACT THE DESIGN AND ENGINEERING OF YOUR CONSTRUCTION PLANS, ARCHITECT, ENGINEER OF RECORD, OR OTHER PROFESSIONAL WHO HAS CONTROL OVER THE ACTUAL CONSTRUCTION AND SECURE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS. [REDACTED] SHALL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS. BLANKET USE OF ANY INFORMATION CONTAINED IN THESE CONSTRUCTION PLANS SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS. [REDACTED] SHALL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS. BLANKET USE OF ANY INFORMATION CONTAINED IN THESE CONSTRUCTION PLANS SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS.

PROFESSIONAL SEAL

YOUR EVERY EFFORT WAS MADE TO MAKE THE CONSTRUCTION DOCUMENTS FOLLOW THE U.S. NATIONAL CODE METHODOLOGIES, A TYPE OF QUALITY CONTROL. WE URGE YOU TO CONTACT THE DESIGN AND ENGINEERING OF YOUR CONSTRUCTION PLANS, ARCHITECT, ENGINEER OF RECORD, OR OTHER PROFESSIONAL WHO HAS CONTROL OVER THE ACTUAL CONSTRUCTION AND SECURE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER LOCAL BUILDING AND WEATHER CONDITIONS. [REDACTED] SHALL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS. BLANKET USE OF ANY INFORMATION CONTAINED IN THESE CONSTRUCTION PLANS SHALL BE AT THE USER'S SOLE RISK. THE USER SHALL BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION PLANS.

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REPRODUCTION OF THESE CONSTRUCTION PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORMS, DRAWINGS AND/OR INFORMATION OF A NATURE THAT IS NOT THE PROPERTY OF [REDACTED] IS PROHIBITED. THE USER OF A SET OF CONSTRUCTION PLANS IS NOT TO REPRODUCE OR TRANSMIT IN ANY MANNER OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF [REDACTED]. THE USER OF A SET OF CONSTRUCTION PLANS IS NOT TO REPRODUCE OR TRANSMIT IN ANY MANNER OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF [REDACTED].

GENERAL SITE NOTES

- 1. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES, REQUIREMENTS, AND CONNECTIONS PER OWNER, CONTRACTOR AND SUBCONTRACTOR TO PART 101 OF THEIR RESPECTIVE CONSTRUCTION PERMIT RULES AS APPLIED UPON BETWEEN THE OWNER AND CONTRACTOR.
2. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL DRAINAGE, MAPE, AND BUILDING SITE OF EXISTING UTILITIES TO DETERMINE THE ROUTE OF ALL UNDERGROUND UTILITIES BEFORE DRAWING COMMENCED. IT IS ADVISED THAT THE OWNER AND/OR CONTRACTOR CALL THEIR UTILITY LOCATOR FOR UTILITY LOCATION.
3. IT IS RECOMMENDED THAT THE SITE BE SURVEYED FOR COMPRESSION RATIO TO DETERMINE FOUNDATION AND FOOTING DESIGN. CONCRETE FOUNDATIONS AND FOOTING DESIGN SHALL BE IN ACCORDANCE TO CHAPTER 4 OF THE U.S. CODE, IBC, FOUNDATION SECTION ON THIS PAGE FOR MORE DETAILS.
4. CONSULT A LOCAL CIVIL ENGINEER FOR SITE PLANS AND SURVEYS OF EXISTING PROPERTY. A LANDSCAPE ARCHITECT SHOULD BE CONSULTED FOR MORE DETAILED LANDSCAPE DESIGN.

CHAPTER 3 :: BUILDING PLANNING

SECTION R304 MINIMUM ROOM AREAS

R304.1 MINIMUM AREA. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET (6.5 M2). EXCEPTION: KITCHENS.
R304.2 MINIMUM DIMENSIONS. HABITABLE ROOMS SHALL BE NOT LESS THAN 7 FEET (2.13 M) IN ANY HORIZONTAL DIMENSION. EXCEPTION: KITCHENS.
R304.3 CEILING HEIGHT ON ROOM AREA. PORTIONS OF A ROOM WITH A FLOORED CEILING MEASUREMENT LESS THAN 8 FEET (2.44 M) OR A FLOORED CEILING MEASUREMENT LESS THAN 7 FEET (2.13 M) FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA FOR THAT ROOM.

SECTION R305 CEILING HEIGHT

R305.1 MINIMUM HEIGHT. HABITABLE SPACE, HALLWAYS AND PORTIONS OF BATHROOMS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET (2.13 M). EXCEPTIONS: 1. KITCHENS, 2. BATHS, 3. LAUNDRY ROOMS, 4. BATHS, 5. BATHS, 6. BATHS, 7. BATHS, 8. BATHS, 9. BATHS, 10. BATHS, 11. BATHS, 12. BATHS, 13. BATHS, 14. BATHS, 15. BATHS, 16. BATHS, 17. BATHS, 18. BATHS, 19. BATHS, 20. BATHS, 21. BATHS, 22. BATHS, 23. BATHS, 24. BATHS, 25. BATHS, 26. BATHS, 27. BATHS, 28. BATHS, 29. BATHS, 30. BATHS, 31. BATHS, 32. BATHS, 33. BATHS, 34. BATHS, 35. BATHS, 36. BATHS, 37. BATHS, 38. BATHS, 39. BATHS, 40. BATHS, 41. BATHS, 42. BATHS, 43. BATHS, 44. BATHS, 45. BATHS, 46. BATHS, 47. BATHS, 48. BATHS, 49. BATHS, 50. BATHS, 51. BATHS, 52. BATHS, 53. BATHS, 54. BATHS, 55. BATHS, 56. BATHS, 57. BATHS, 58. BATHS, 59. BATHS, 60. BATHS, 61. BATHS, 62. BATHS, 63. BATHS, 64. BATHS, 65. BATHS, 66. BATHS, 67. BATHS, 68. BATHS, 69. BATHS, 70. BATHS, 71. BATHS, 72. BATHS, 73. BATHS, 74. BATHS, 75. 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WALL ALLOWABLE GROUND AND HEADS SPANS.
THE ALLOWABLE SPANS OF GROUND AND HEADS FRAMING OF DIMENSION LUMBER SHALL NOT EXCEED THE VALUES SET FORTH IN TABLE N02.1 (1), N02.1 (2) AND N02.1 (3).

WALL & CEILING.
THE GROUND OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1/2 INCHES OR END OF BEAMS ON WOOD OR METAL. JOIST THUMB NAILS OR END OF BEAMS ON WOOD OR METAL ON CONCRETE SHALL BE SUPPORTED BY APPROVED JOIST HANGERS. ALTERNATIVELY, THE END OF JOIST SHALL BE SUPPORTED ON A LATCH BY A MINIMUM OF TWO (2) INCHES AND SHALL BE NAIL TO THE JOIST BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES. THUMB NAILS SHALL BE PLACED UNDER THE JOIST. JOIST OR GIRDERS THAT ARE NOT NAIL TO JOIST OR GIRDER SHALL BE NAIL TO JOIST OR GIRDER BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES. JOIST OR GIRDERS SHALL BE NAIL TO JOIST OR GIRDER BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING SECTIONS:

- SECTION 101 GENERAL
- SECTION 102 FOUNDATION
- SECTION 103 WALLS
- SECTION 104 ROOFING
- SECTION 105 FLOOR FINISHES
- SECTION 106 PARTITIONS
- SECTION 107 STAIRS
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- SECTION 112 FUEL-BURNING APPLIANCES
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- SECTION 115 ENERGY EFFICIENCY
- SECTION 116 GREEN BUILDING
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SECTION 127 GENERAL NOTES

SECTION 128 GENERAL NOTES

SECTION 129 GENERAL NOTES

SECTION 130 GENERAL NOTES

SECTION 131 GENERAL NOTES

SECTION 132 GENERAL NOTES

SECTION 133 GENERAL NOTES

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THE GROUND OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1/2 INCHES OR END OF BEAMS ON WOOD OR METAL. JOIST THUMB NAILS OR END OF BEAMS ON WOOD OR METAL ON CONCRETE SHALL BE SUPPORTED BY APPROVED JOIST HANGERS. ALTERNATIVELY, THE END OF JOIST SHALL BE SUPPORTED ON A LATCH BY A MINIMUM OF TWO (2) INCHES AND SHALL BE NAIL TO THE JOIST BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES. THUMB NAILS SHALL BE PLACED UNDER THE JOIST. JOIST OR GIRDERS THAT ARE NOT NAIL TO JOIST OR GIRDER SHALL BE NAIL TO JOIST OR GIRDER BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES. JOIST OR GIRDERS SHALL BE NAIL TO JOIST OR GIRDER BY TWO (2) INCHES OR END OF BEAMS ON CONCRETE SHALL BE NAIL TO A WALL, PLATE OF 2 INCHES OR MORE BY TWO (2) INCHES.

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SECTION 132 GENERAL NOTES

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CHAPTER 8 :: WOOD ROOF FRAMING

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SECTION 802 FOUNDATION

SECTION 803 WALLS

SECTION 804 ROOFING

SECTION 805 FLOOR FINISHES

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FLOOR JOIST SPANS

FLOOR JOIST SPANS FOR SOUTHERN PINE SPECIES
(RESIDENTIAL LIVING AREAS LIVE LOAD = 40 psf, DEAD LOAD = 20 psf)

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MINIMUM JOIST SPAN (FT. - IN.))
2x4	12.0	6-0
	16.0	8-0
	24.0	14-0
2x6	12.0	10-0
	16.0	12-0
	24.0	18-0
2x8	12.0	14-0
	16.0	16-0
	24.0	22-0
2x10	12.0	18-0
	16.0	20-0
	24.0	26-0

NOTES:
The above tables are based on the IRC 2018 TABLE R602.3.1(2)

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
(LIVE LOAD = 20 psf, DEAD LOAD = 10 psf)

SIZE	SPACING (INCHES)	SPANS (OVERHUNG RAFTER SPAN BETWEEN BRACKETS (FT. - IN.))
2x6	12.0	12-0
	16.0	14-0
	24.0	20-0
2x8	12.0	16-0
	16.0	18-0
	24.0	24-0
2x10	12.0	20-0
	16.0	22-0
	24.0	28-0

NOTES:
The above tables are based on the IRC 2018 TABLE R602.4.1(2)

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(SUSCEPTIBLE AFTER FIVE LIMITED SPANS, LIVE LOAD = 20 psf, DEAD LOAD = 10 psf)

*** VISUALLY GRADED #2 SOUTHERN PINE (MINIMUM JOIST SPAN (FT. - IN.)) ***

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MINIMUM JOIST SPAN (FT. - IN.))
2x4	12.0	6-0
	16.0	8-0
	24.0	14-0
2x6	12.0	10-0
	16.0	12-0
	24.0	18-0
2x8	12.0	14-0
	16.0	16-0
	24.0	22-0
2x10	12.0	18-0
	16.0	20-0
	24.0	26-0

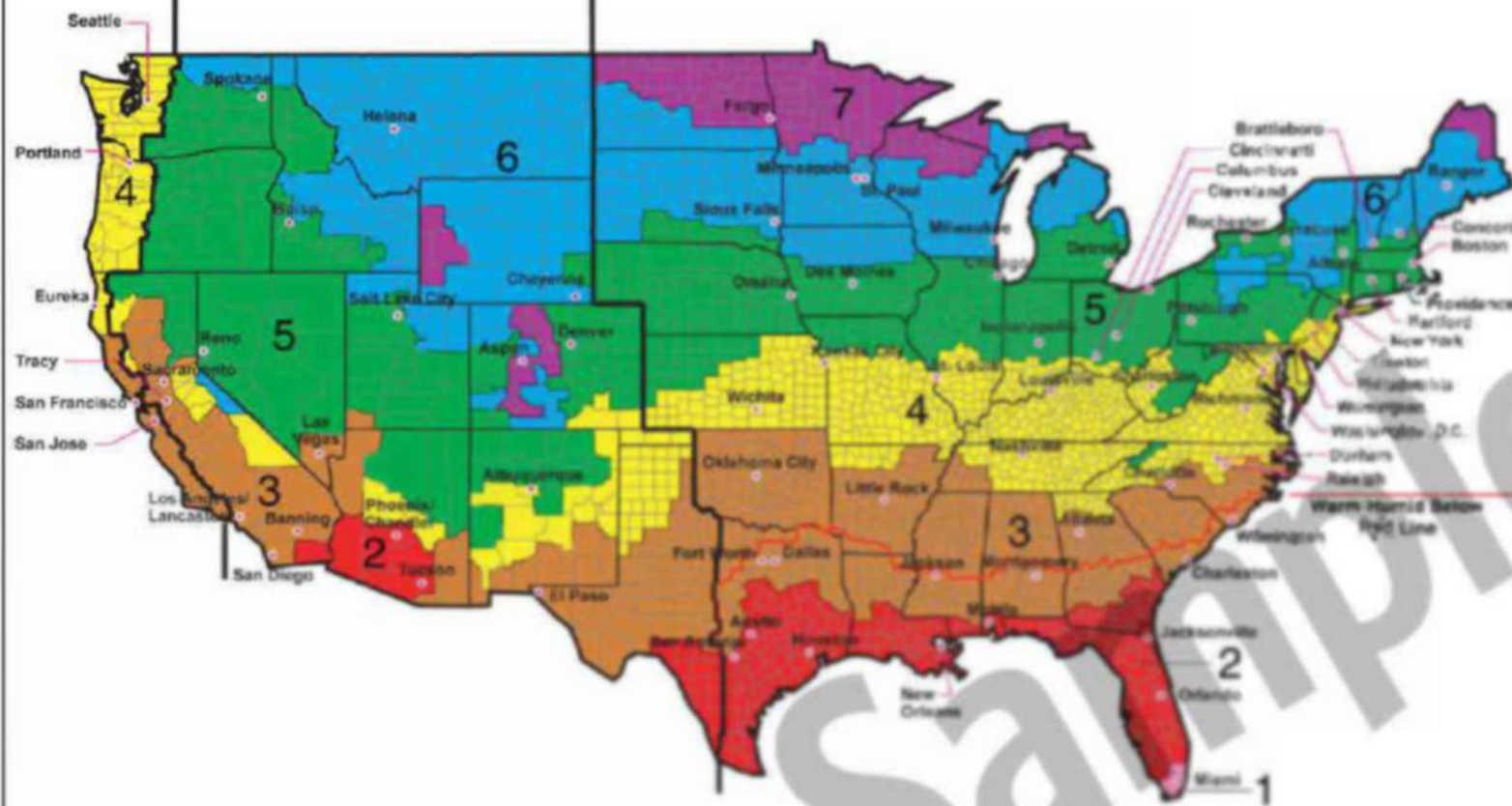
NOTES:
The above tables are based on the IRC 2018 TABLE R602.3.1(2)

Code Year: 2018
International Residential Code
Construction Specifications and Methodologies

Date: 02.10.20

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N3

Marine (C) ← Dry (B) → Moist (A) →



All of Alaska in Zone 7 except for the following Boroughs in Zone 6: Bethel, Delta Junction, Fairbanks, N. Star, Nome, North Slope, Northwest Arctic, Southeast Fairbanks, Wade Hampton, and Yukon-Koyukuk
 Zone 1 Includes: Hawaii, Guam, Puerto Rico, and the Virgin Islands

TABLE N1102.1.2 (R402.1.2)
 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS

CLIMATE ZONE	PENETRATION U-FACTOR	DAYLIGHT U-FACTOR	GLAZED PENETRATION U-FACTOR	DRY ROOF R-VALUE	WET ROOF R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENTS U-FACTOR	SLAB U-FACTOR	CEILING U-FACTOR
1	NR	0.75	0.25	30	15	5/4	13	0	0	0
2	0.40	0.65	0.25	36	15	4/6	13	0	0	0
3	0.32	0.55	0.25	36	20 or 13 + 5a	8/13	19	5/13 ^b	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13 + 5a	8/13	19	10/13	10, 2.6	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5a	13/17	20g	15/19	10, 2.6	15/19
6	0.30	0.55	NR	49	20 + 5 or 13 + 10a	15/20	20g	15/19	10, 4.8	15/19
7 and 8	0.30	0.55	NR	49	20 + 5 or 13 + 10a	15/21	20g	15/19	10, 4.8	15/19

For 5/13 Roof - 10/13 roof
 a. U-values are maximum. U-values and R-values are maximum. When insulation is installed in a cavity which is less than the depth or slope thickness of the insulation, the required U-value of the insulation shall not be less than the U-value specified in the table.
 b. The penetration U-factor values exclude skylights. The R-value values apply to all glazed fenestration.
 c. Skylights: Skylights may be excluded from glazed fenestration U-factor requirements in Climate Zones 1 through 3 when the R-value for each skylight does not exceed 0.30.
 d. "15/19" means R-19 continuous insulation on the exterior or interior of the base or R-19 cavity insulation on the exterior of the basement wall. "10/13" shall be permitted to be used in 5/13 cavity insulation on the exterior of the basement wall plus R-19 continuous insulation on the exterior or interior of the base. "15/19" means R-19 continuous insulation on the exterior or interior of the base or R-19 cavity insulation on the exterior of the basement wall.
 e. 5/13 shall be added to the required slab edge R-value for heated slabs. Skylights depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 to basement slabs.
 f. There are no U-factor requirements for Marine Zones.
 g. Basement wall insulation is not required in warm-humid climates as defined by Figure N1101.10 and Table N1101.10.
 h. U-values for skylights shall be the design skylight U-value.
 i. The first value in the table is the required value in warm-humid climates, and "15/19" means R-19 cavity insulation plus R-19 continuous insulation.
 j. The second U-value applies when the insulation is in the exterior of the mass wall.

TABLE N1102.1.4 (R402.1.4)
 EQUIVALENT U-FACTORS

CLIMATE ZONE	PENETRATION U-FACTOR	DAYLIGHT U-FACTOR	DRY ROOF U-FACTOR	WET ROOF U-FACTOR	FLOOR U-FACTOR	BASEMENTS U-FACTOR	SLAB U-FACTOR	CEILING U-FACTOR
1	0.30	0.75	0.25	0.264	0.197	0.264	0.340	0.477
2	0.40	0.65	0.25	0.264	0.145	0.264	0.340	0.477
3	0.32	0.55	0.25	0.264	0.096	0.247	0.291	0.334
4 except Marine	0.32	0.55	0.25	0.264	0.096	0.247	0.291	0.291
5 and Marine 4	0.32	0.55	0.25	0.264	0.096	0.247	0.291	0.291
6	0.32	0.55	0.25	0.264	0.096	0.247	0.291	0.291
7 and 8	0.32	0.55	0.25	0.264	0.096	0.247	0.291	0.291

a. The maximum U-factor shall be the lesser of the maximum U-factor or an approved value.
 b. When more than half the insulation is on the exterior, the mass wall U-factor shall be a maximum of 0.17 in Zone 1, 0.14 in Zone 2, 0.12 in Zone 3, 0.07 in Zone 4 except Marine, 0.06 in Zone 5 and Marine 4, and 0.07 in Zone 6 through 8.
 c. Basement wall U-factor of 0.247 is warm humid condition as defined by Figure N1101.10 (R401.1) and Table N1101.10 (R401.1).

TABLE N1102.4.1.1 (R402.4.1.1)
 AIR BARRIER AND INSULATION INSTALLATION (a)

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Gaps or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/void	1/2" air barrier tape is ripped ceiling or void shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic space shall be sealed.	The insulation in any dropped ceiling/void shall be aligned with the air barrier.
Walls	The junction of the foundation and all joints shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cracks within covers and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of not less than R-5 per inch. Exterior thermal envelope insulation for framed walls shall be attached to exterior sheathing and in continuous alignment with the air barrier.
Windows, skylights and doors	The space between framing and sills, and framing the joints of windows and doors, shall be sealed. Non joints shall include the air barrier.	Non joints shall be treated.
Floor joists	The air barrier shall be installed in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extending from the bottom to the top of all perimeter floor framing members.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extending from the bottom to the top of all perimeter floor framing members.
Floors (including above garage and cantilevered front and rear porch grills)	Exposed joist or truss web cavities shall be covered with a Class 1 vapor retarder with overlapping end-joints.	Clear space insulation, when provided instead of floor insulation, shall be permanently attached to the joist.
Shafts, penetrations	2" x 4" studs, utility penetrations, and fan shafts opening to exterior or unconditioned space shall be sealed.	
Roof eaves		Batts to be installed in narrow cavities shall be cut to fit, or narrow cavities shall be filled with insulation that on installation readily conforms to the cavity configuration.
Garage separation	Air sealing shall be provided between the garage and unconditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the ceiling thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the ceiling thermal envelope shall be air tight and R-rated.
Plumbing and wiring		In exterior walls, seal transition shall be cut neatly to fit around wiring and plumbing or insulation that on installation, readily conforms to cavity space, shall extend behind piping, wiring.
Showers on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be treated.
Electrophone line on exterior walls	The air barrier shall be installed behind electrical and communication conduits. Alternatively, air-seal boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the exterior or drywall.	
Climate penetrations	Items required to be sealed to exterior thermal envelope shall only be sealed in a manner that is recommended by the manufacturer, listing or other authoritative sources shall not be used to fit walls between the register cover plates and walls or ceilings.	

(a) Installation of log walls shall be in accordance with the provisions of ICC 408, 2015 INTERNATIONAL RESIDENTIAL CODE®



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 International Residential Code
 Energy Efficiency and Conservation

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